

NEW CONSTRUCTION: 216 CHANDLER STREET

PROJECT LOCATION
216 CHANLDER STREET
WORCESTER, MA 01605

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ARCHITECTS STAMP:

ENGINEER:

ENGINEER'S STAMP:

GENERAL INFORMATION:

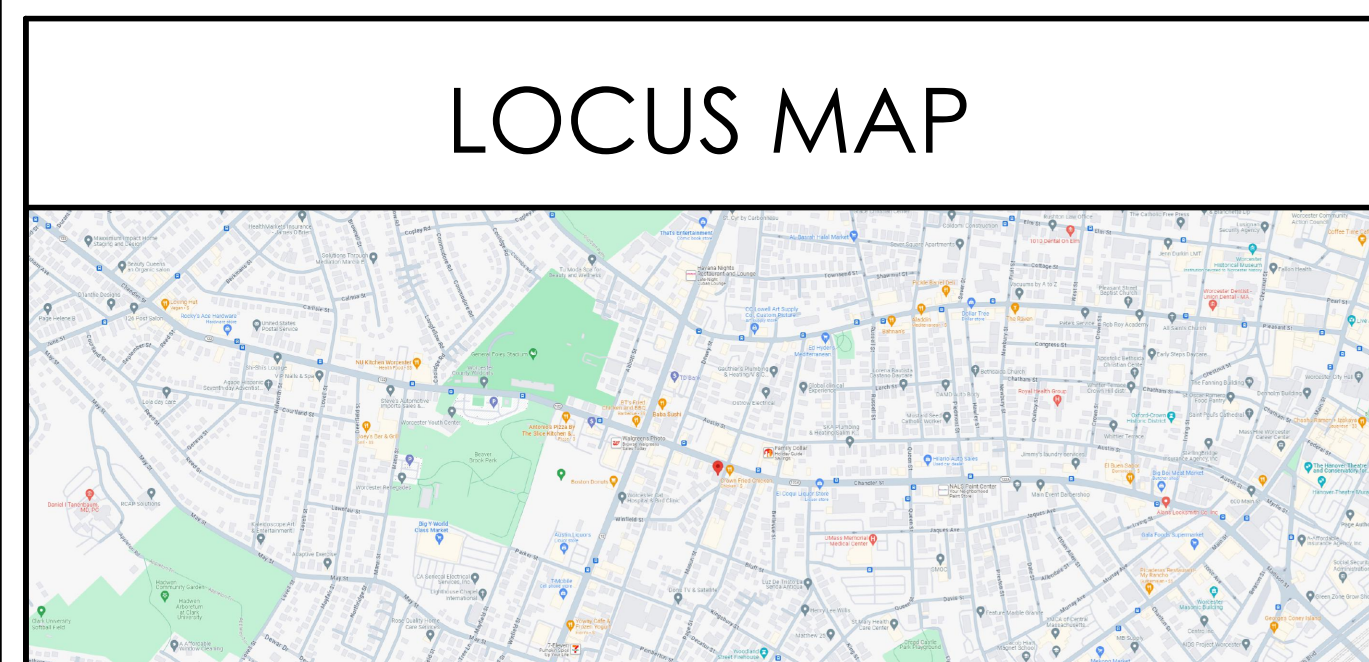
ABBREVIATIONS

A.C.T	ACOUSTICAL CEILING TILE	A.C.T	ACOUSTIC	MANUFACTURED	MFD
ACST	ACOVE FINISHED FLOOR	ACST	ARCHITECT	MAR	MARBLE
ALUM	ALUMINUM	ALUM	ARCHITECT	MAS	MASONRY
ARCH	ARCHITECT	ARCH	ARCHITECT	MAT	MATERIAL
AVG	AVERAGE	AVG	ARCHITECT	MAT	MATERIAL
BM	BEAM	BM	ARCHITECT	MAX	MECHANICAL
BD	BOARD	BD	ARCHITECT	MIL	METAL
BR	BRASS	BR	ARCHITECT	M	METER
BRE	BRONZE	BRE	ARCHITECT	MIR	MIRAMIR
BLDG	BUILDING	BLDG	ARCHITECT	MIS	MISCELLANEOUS
BLFH	BUILT IN	BLFH	ARCHITECT	MULL	MULLION
CAB	CABINET	CAB	ARCHITECT	NAT	NATURAL
CLG	CEILING	CLG	ARCHITECT	NOM	NOMINAL
CL	CENTER LINE	CL	ARCHITECT	NIC	NOT IN CONTACT
CM	CENTIMETER	CM	ARCHITECT	NIS	NOT TO SCALE
CER	CERAMIC	CER	ARCHITECT	N	NUMBER
CLR	CLEAR	CLR	ARCHITECT	OC	ON CENTER
CW	COLD WATER	CW	ARCHITECT	OPG	OPENING
COL	COLUMN	COL	ARCHITECT	OPF	OPPOSITE
CONC	CONCRETE	CONC	ARCHITECT	PID	PAINTED
CMU	CONCRETE MASONRY UNIT	CMU	ARCHITECT	FIN	PARTITION
CONSTR	CONSTRUCTION	CONSTR	ARCHITECT	PL	PLASTER
CONT	CONTINUOUS	CONT	ARCHITECT	FLAM	FLUORING
CONTR	CONTRACTOR	CONTR	ARCHITECT	FLWD	PLYWOOD
DEM	DEMOLITION	DEM	ARCHITECT	P.T.	PRESSURE TREATED
DET	DETAIL	DET	ARCHITECT	QTY	QUANTITY
DIA	DIAMETER	DIA	ARCHITECT	QT	QUANTITY
DM	DIMENSION	DM	ARCHITECT	R	RADIUS
DR	DOOR	DR	ARCHITECT	REF	REFERENCE
DN	DOWN	DN	ARCHITECT	RENF	REINFORCE
DWG	DRAWING	DWG	ARCHITECT	RMV	REMOVE
DF	DRINKING FOUNTAIN	DF	ARCHITECT	REQD	REQUIRED
EA	EACH	EA	ARCHITECT	REV	REVISION
ELEC	ELECTRIC	ELEC	ARCHITECT	RS	RIB
EWC	ELECTRIC WATER COOLER	EWC	ARCHITECT	RM	ROOM
EQ	EQUAL	EQ	ARCHITECT	R.O.	ROUGH OPENING
EQU	EQUIPMENT	EQU	ARCHITECT	SCH	SCHEDULE
EST	ESTIMATE	EST	ARCHITECT	SECT	SECTION
EXIST	EXISTING	EXIST	ARCHITECT	SH	SHEET
EXT	EXTERIOR	EXT	ARCHITECT	SIM	SIMILAR
FAB	FABRICATE	FAB	ARCHITECT	SC	SOLID CORE
OR FT	FEET	OR FT	ARCHITECT	SPEC	SPECIFICATIONS
FR	FRISH	FR	ARCHITECT	SF	SQUARE FEET
FIN	FINISH	FIN	ARCHITECT	SQ IN.	SQUARE INCHES
FAO	FINISHED ALL OVER	FAO	ARCHITECT	SS	STANDARD
FR	FIREPROOF	FR	ARCHITECT	STD	STANDARD
FLR	FLOOR	FLR	ARCHITECT	STL	STEEL
FLUOR	FLUORESCENT	FLUOR	ARCHITECT	STR	STRUCTURAL
FS	FULL SIZE	FS	ARCHITECT	SUP	SUSPENDED
FURN	FURNISH	FURN	ARCHITECT	SY	SYSTEM
GA	GAUGE	GA	ARCHITECT	TEL	TELEPHONE
GEN	GENERAL	GEN	ARCHITECT	TEMP	TEMPERATURE
GWB	GYPNUM WALL BOARD	GWB	ARCHITECT	T&G	TONGUE & GROOVE
GYP	GYPNUM BOARD	GYP	ARCHITECT	TR	TREAD
HW	HARDWARE	HW	ARCHITECT	UNT	UNFINISHED
HW	HARDWOOD	HW	ARCHITECT	URN	URN
HT	HEIGHT	HT	ARCHITECT	UR	URINAL
HC	HOLLOW CORE	HC	ARCHITECT	VER	VERIFY IN THE FIELD
HOR	HORIZONTAL	HOR	ARCHITECT	VERT	VERTICAL
HW	HOT WATER	HW	ARCHITECT	VCT	VINYL TILE
IN	INSULATION	IN	ARCHITECT	W	WARRANTY
INT	INTERIOR	INT	ARCHITECT	WC	WATER CLOSET
JBOX	JUNCTION BOX	JBOX	ARCHITECT	WP	WATERPROOF
LAV	LAVATORY	LAV	ARCHITECT	WT	WEIGHT
LIC	LIGHT	LIC	ARCHITECT	W	WIDTH
LIC	LIGHTING	LIC	ARCHITECT	W/O	WITHOUT
LN	LINEAR	LN	ARCHITECT	WD	WOOD
LNO	LINEAR	LNO	ARCHITECT	WI	WROUGHT IRON
MFR	MANUFACTURER	MFR	ARCHITECT	YD	YARD
GAUV	GALVANIZED	GAUV	ARCHITECT		
GWB	GYPNUM WALL BOARD	GWB	ARCHITECT		

LEGEND

SYMBOLS	MATERIALS	DRAWING SYMBOLS

LOCUS MAP



	SCHMATIC	01.08.2025
	DESIGN DEVELOPMENT	
	BID	
	PERMIT	
	CONSTRUCTION	
	EXISTING CONDITIONS	

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REVISION DATE		

DATE:	01.08.2025
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DRAWN:	PL
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PROJECT TITLE:
MULTIFAMILY RESIDENTIAL BUILDING
216 CHANDLER STREET
WORCESTER, MA 01609

SHEET TITLE:
TITLE SHEET

SHEET NUMBER:
T-1.0

GENERAL DEMOLITION NOTES

A. CONTRACTOR SHALL VISUALLY INSPECT THE SITE TO DETERMINE THE CONDITION OF EXISTING CONSTRUCTION AND FAMILIARIZE HIMSELF/HERSELF WITH THE PROPOSED WORK.

- ALL WORK SHALL COMPLY WITH MUNICIPAL, STATE AND FEDERAL RULES AND REGULATIONS, LAWS AND ORDINANCES OF ALL THE AUTHORITIES HAVING JURISDICTION.
- DISCONNECTION OF UTILITIES REQUIRED BY THE WORK SHALL BE PERFORMED BY QUALIFIED PERSONNEL.
- ALL WORK IS TO COMPLY WITH APPLICABLE PROVISIONS OF ANSI CODE FOR BUILDING CONSTRUCTION: ANSI 10.6, SAFETY OF DEMOLITION.
- UTILITY LINES TO BE ABANDONED SHALL BE DISCONNECTED, REMOVE AS REQUIRED, AND/OR CAPPED OFF IN ACCORDANCE WITH APPLICABLE CODE AND REGULATIONS.
- REMOVE ALL AREAS SHOWN DASHED [TYPICAL] ON DEMOLITION PLANS.
- CONTRACTOR TO PROTECT ALL EXISTING AREAS BEYOND LIMIT OF WORK OR ITEMS THAT ARE TO REMAIN, AS REQUIRED.
- COORDINATE DEMOLITION WORK WITH PROPOSED NEW WORK SHOWN ON PROJECT DRAWINGS.
- THE GENERAL CONTRACTOR SHALL NOT INTERFERE WITH NORMAL ACTIVITY IN OR ADJACENT TO THE BUILDING, AND IS SHALL TAKE ALL NECESSARY SAFETY PRECAUTIONS TO PREVENT EXCESSIVE DUST, AND NOISE, ACCESS AND EGRESS TO AND FROM THE EXISTING BUILDING AS WELL AS FIRE PROTECTION IS TO BE MAINTAINED AT ALL TIMES THROUGHOUT THE ENTIRE CONSTRUCTION PROCESS.
- PROVIDE ALL TEMPORARY SHORING BRACING, FRAMING, AND PROTECTION OF EXISTING WORK TO REMAIN BEFORE PROCEEDING WITH DEMOLITION AND DURING ALTERATION WORK.
- PERFORM DEMOLITION WORK AS REQUIRED TO ACCOMMODATE NEW CONSTRUCTION. CONTRACTOR SHALL VERIFY THAT ALL REMOVED COMPONENTS ARE NOT STRUCTURAL. NOTIFY ARCHITECT BEFORE REMOVING ANY STRUCTURAL MEMBERS. NOTIFY ARCHITECT IN CASE OF DISCREPANCY BEFORE PROCEEDING WITH WORK.
- IF DURING DEMOLITION CONDITIONS ARE REVEALED THAT MAY JEOPARDIZE THE INTEGRITY OF THE STRUCTURE OR PRECLUDE THE DESIGN INTENT, THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY.
- DEMOLITION PLANS ASSUME THAT PORTIONS OF EXISTING WIRING, PLUMBING, EQUIPMENT, DUCTWORK, ETC., IN AREAS OF NEW WORK WILL BE REQUIRED TO BE REMOVED/RELOCATED TO MEET THE REQUIRED DESIGN PARAMETERS OF THE NEW WORK. PRIOR TO COMMENCING DEMOLITION/RELOCATION, CONTRACTOR SHALL VERIFY SPECIFIC CONDITIONS IN THE FIELD AND COORDINATE WITH GC AND ARCHITECT. (SEE M.E.P. DEMOLITION NOTES.)
- BEFORE DISPOSING OF ANY REMOVED ITEMS, CONSULT WITH OWNER AND VERIFY POSSIBLE RE-USE, SALVAGE, OR DISPOSAL OF ANY EXISTING ITEMS AND EQUIPMENT, INCLUDING BUT NOT LIMITED TO, PLUMBING, FIXTURES, EQUIPMENT, LIGHT FIXTURES AND DOORS, ETC.

B. CUTTING AND PATCHING

- GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ALL SUBCONTRACTORS, DEMOLITION CUTTING AND PATCHING
- ALL PARTITIONS, FLOORS, CEILINGS OR ITEMS TO BE REMOVED SHALL BE CLEANLY CUT BACK TO THE LIMITS SHOWN ON THE PLANS, SECTIONS, AND DETAILS OR AS DIRECTED BY THE ARCHITECT.
- ALL EXISTING FLOORS, WALLS, AND CEILINGS AFFECTED BY NEW WALL LOCATIONS ARE TO BE PATCHED AND REPAIRED AS NECESSARY TO PROVIDE A SMOOTH UN-NOTICEABLE TRANSITION OF NEW AND EXISTING MATERIALS AND SURFACES.
- PROVIDE CUTTING AND PATCHING AS REQUIRED FOR ALL DEMOLITION AND ALTERATION WORK. CUTTING AND PATCHING INCLUDE CUTTING INTO OR THROUGH TO PROVIDE FOR THE INSTALLATION OR PERFORMANCE OF OTHER WORK, AND THE SUBSEQUENT FITTING AND PATCHING REQUIRED TO RESTORE THE CUT SURFACES TO THEIR ORIGINAL CONDITION.
- REMOVE EXISTING INTERIOR FINISHES AND MATERIALS AS REQUIRED TO ACCOMMODATE NEW WORK. ALL ITEMS ARE TO BE REMOVED IN A MANNER SO AS TO NOT DAMAGE THE EXISTING MATERIALS OR FINISHES THAT ARE TO REMAIN OR BE REINSTALLED.
- PERFORM DEMOLITION WORK CAREFULLY. REMOVE MASONRY, STEEL, CONCRETE, WALLS AND OTHER STRUCTURAL ELEMENTS IN SMALL SECTIONS, REMOVE THESE MATERIALS TO A CLEARLY CUT, STRAIGHT LINE, ACCURATELY ESTABLISHED.
- REMOVE FROM THE SITE AND DISPOSE OF LEGALLY. ALL EXISTING MATERIALS, DEMOLITION DEBRIS, TRASH, RUBBISH AND ITEMS THAT WILL NOT BE USED IN THE NEW WORK OR WILL NOT BE REUSED BY THE OWNER. STORAGE OF DEBRIS WILL NOT BE PERMITTED. ALL DEBRIS TO BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS.
- COORDINATE REMOVAL OF ANY RATED ASSEMBLIES WITH LOCAL OFFICIALS BEFORE COMMENCING WORK.

C. M.E.P. DEMOLITION NOTES

- SEE ELECTRICAL, HVAC, PLUMBING AND FIRE PROTECTION DRAWINGS FOR LOCATION OF NEW UTILITIES AND DEMOLITION OF EXISTING WORK NOT SHOWN ON THESE PLANS. GC TO COORDINATE ALL WORK WITH SUBCONTRACTORS.
- WHERE EXISTING ELECTRICAL DEVICES OCCUR IN PARTITIONS INDICATED TO BE REMOVED, THE WIRING SHALL BE REMOVED, ALL ELECTRICAL LINES BEING DISCONNECTED SHALL BE ADEQUATELY TRACED AND RECONNECTED AS REQUIRED TO ENSURE PROPER FUNCTION FOR THE ADJACENT AREAS AND TO ENSURE PROPER FUNCTION OF THE EXISTING BUILDING EQUIPMENT OR SYSTEM TO REMAIN. ELECTRICAL CONTRACTOR TO VERIFY ALL ELECTRICAL SYSTEMS PRIOR TO THE COMMENCEMENT OF WORK.
- WHERE EXISTING PLUMBING LINES ARE TO BE REWORKED OR REMOVED, ALL PLUMBING LINES BEING DISCONNECTED SHALL BE ADEQUATELY TRACED AND RECONNECTED AS REQUIRED TO ENSURE PROPER FUNCTION FOR THE ADJACENT AREAS AND TO ENSURE PROPER FUNCTION OF THE EXISTING BUILDING EQUIPMENT TO REMAIN IN PLACE.
- WHERE EXISTING HVAC LINES, DUCTWORK, ETC. ARE TO BE REWORKED, ALL LINES AND EQUIPMENT BEING DISCONNECTED SHOULD BE ADEQUATELY TRACED AND RECONNECTED AS REQUIRED TO ENSURE PROPER FUNCTION FOR THE ADJACENT AREAS AND TO ENSURE PROPER FUNCTION TO THE EXISTING BUILDING EQUIPMENT OR SYSTEMS TO REMAIN.
- COORDINATE WITH MECHANICAL AND ELECTRICAL DRAWINGS FOR LOCATIONS OF ALL NEW PENETRATIONS THRU ROOF, FLOORS, WALLS, AND CEILINGS.

D. CLEANING

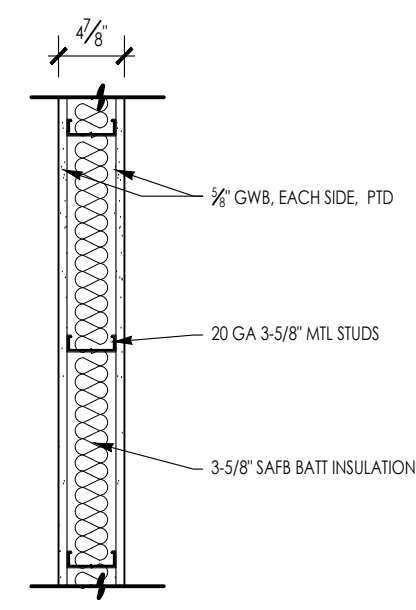
- CONTRACTOR IS FULLY RESPONSIBLE FOR THE CLEANING AND PREPARING OF ALL FLOOR, WALL AND CEILING SURFACES FOR THE INSTALLATION OF NEW MATERIALS AS SCHEDULED, UTILITIES, HVAC AND ELECT. SYSTEMS EQUIPMENT, ETC. AFTER DEMO CLEANUP.

OTHER: REMINDERS/SPECIFIC TO INDIVIDUAL PROJECTS

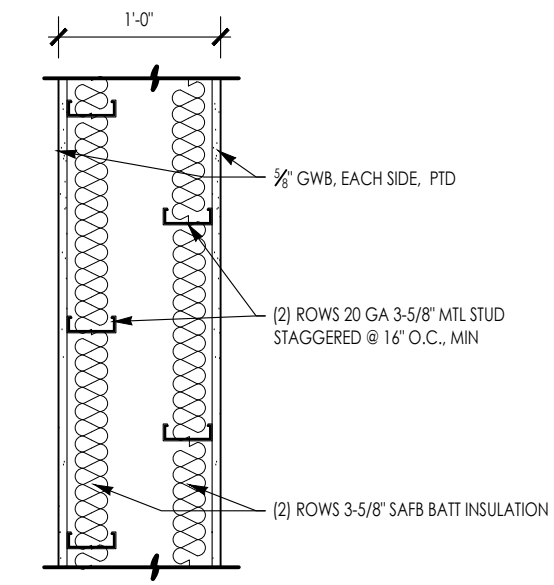
- EXISTING LARGE FLOOR OPENINGS TO BE FILLED ARE INDICATED. SMALLER PIPE HOLES, ETC., TO BE FILLED ARE NOT INDICATED ON THE DRAWINGS. REFER TO DETAILS FOR REQUIREMENTS FOR FILLING SAID OPENINGS.
- ALL EXISTING COLUMNS TO REMAIN UNLESS NOTED.
- ALL EXPOSED UNUSED PIPING AND CONDUITS SHALL BE REMOVED BY THE GENERAL CONTRACTOR. SEE SPECIFICATIONS FOR CAPPING.

GENERAL CONSTRUCTION NOTES

- ALL WORK IS TO BE PERFORMED IN PROFESSIONAL AND WORKMANLIKE MANNER, IN ACCORDANCE WITH ALL APPLICABLE FEDERAL & STATE CODES, INCLUDING THE INTERNATIONAL BUILDING CODE (IBC), THESE INCLUDE, BUT ARE NOT LIMITED TO, THE INTERNATIONAL EXISTING BUILDING CODE (IEBC), MASS STATE BUILDING CODE, THE AMERICAN NATIONAL STANDARD (ANSI), THE INTERNATIONAL ENERGY CONSERVATION CODE (IECC), THE NATIONAL ELECTRIC CODE (NEC), THE INTERNATIONAL PLUMBING CODE (IPC), THE INTERNATIONAL MECHANICAL CODE (IMC), AND THE NATIONAL FIRE PROTECTION STANDARDS, AS WELL AS ALL LOCAL REGULATIONS GOVERNING THE PROJECT.
- CONTRACTOR TO VISIT SITE AND TO VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD, AND REPORT ALL DISCREPANCIES TO ARCHITECT, PRIOR TO PROCEEDING WITH WORK.
- ALL MATERIALS USED ON THIS PROJECT SHALL BE IN COMPLIANCE WITH THE APPLICABLE INTERNATIONAL BUILDING CODE.
- THE CONTRACTOR SHALL MAINTAIN COMPLETE AND UP-TO-DATE DRAWINGS AT THE JOB SITE, AND SHALL SUBMIT ACCURATE AS-BUILT DRAWINGS TO ARCHITECT AND OWNER AT END OF PROJECT.
- THE INTENTION OF THE CONTRACT DOCUMENTS IS TO INCLUDE ALL LABOR, MATERIALS, EQUIPMENT AND OTHER ITEMS NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK.
- BY EXECUTING THE CONTRACT, THE CONTRACTOR REPRESENTS THAT THEY HAVE VISITED THE SITE AND HAVE FAMILIARIZED THEM SELF WITH THE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED.
- THE ARCHITECT WILL HAVE AUTHORITY TO REJECT WORK WHICH DOES NOT CONFORM TO THE CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK, USING THEIR BEST SKILLS AND ATTENTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, & SHORING, AND FOR COORDINATING THE WORK OF ALL SUB-CONTRACTORS.
- EACH CONTRACTOR SHALL PERFORM ALL REQUIRED CUTTING AND PATCHING FOR THEIR OWN TRADE, UNLESS OTHERWISE NOTED.
- DRAWINGS SHALL NOT BE SCALED TO OBTAIN DIMENSIONS.
- CONTRACTOR SHALL PROPERLY PROTECT AND MAKE SAFE WORK PREMISES.
- THE CONTRACTOR SHALL KEEP THE WORKSITE CLEAN AND TIDY, AND AT ALL TIMES SHALL KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS OR TRASH CAUSED BY THEIR OPERATIONS.
- ALL EXITS SHALL BE KEPT READILY ACCESSIBLE AND UNOBSTRUCTED AT ALL TIMES AND SHALL MAINTAIN REQUIRED EMERGENCY EGRESS DURING CONSTRUCTION.
- THE CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE OWNER AND THE ARCHITECT, AND THEIR AGENTS AND EMPLOYEES, FROM AND AGAINST ANY CLAIMS, DAMAGES, LOSSES AND EXPENSES INCLUDING ATTORNEY'S FEES ARISING OUT OF OR RESULTING FROM THE PERFORMANCES OF THE WORK.
- THE CONTRACTOR SHALL PAY ALL FEES AND SECURE PERMITS FROM ALL AGENCIES HAVING JURISDICTION AND AT COMPLETION SHALL SEE THAT THE PROJECT IS SIGNED OFF BY THE APPROPRIATE AUTHORITY HAVING JURISDICTION.
- WEATHER PROTECTION:** THE CONTRACTOR SHALL AT ALL TIMES PROVIDE PROTECTION AGAINST THE RAIN, WIND, STORM, FROST, OR HEAT SO AS TO MAINTAIN ALL WORK MATERIALS, APPARATUS, AND FIXTURES FROM INJURY OR DAMAGE.
- THE CONTRACTOR SHALL PROTECT ALL AREAS OUTSIDE THE CONTRACT LIMITS AND RESTORE ALL SUCH PROPERTY TO ITS CONDITION PRIOR TO THE START OF THE WORK.
- DAMAGE:** ALL WORK DAMAGED BY FAILURE TO PROVIDE PROTECTION SHALL BE REMOVED AND REPLACED WITH NEW WORK AT THE CONTRACTORS EXPENSE. THE CONTRACTOR SHALL UNCONDITIONALLY GUARANTEE ALL MATERIALS AND WORKMANSHIP UNTIL THE DATE OF OWNER'S ACCEPTANCE AND SHALL REPLACE ANY DEFECTIVE WORK WITHIN THAT PERIOD WITHOUT EXPENSES TO THE OWNER AND PAY FOR ALL DAMAGES TO OTHER PARTS OF THE BUILDING CAUSED BY REPAIR OF THEIR WORK.
- ALL FINISHES SHALL COMPLY WITH THE LIMITS FOR FIRE RESISTANCE/FLAMMABILITY AS SPECIFIED IN THE APPLICABLE INTERNATIONAL BUILDING CODE.
- ALL DEMOLITION AND RELOCATING OF EXISTING MEP SYSTEMS EFFECTING NEW PLUMBING, HVAC, AND ELECTRICAL SYSTEMS SHALL BE COORDINATED WITH RESPECTIVE SUBCONTRACTORS. RELOCATE/REWORK ALL ACTIVE MECHANICAL AND ELECTRICAL LINES WHERE REQUIRED DUE TO REMOVALS AND NEW LAYOUT. MODIFICATIONS FROM THE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE COMMENCING WORK.
- CONTRACTORS SHALL COORDINATE WITH PROPERTY MANAGER AS REQUIRED WHEN ITEMS OF NEW PLUMBING WORK REQUIRE ACCESS TO ADJACENT COMMON AREAS, AND TENANT SPACES OUTSIDE AREA OF WORK. REPLACE AND RESTORE FINISHES TO MATCH AFTER COMPLETION OF WORK.
- PROVIDE ALL BLOCKING REQUIRED TO INSTALL MILLWORK, EQUIPMENT, CASEWORK, GRAB BARS, RAILINGS, ETC. TYPE AND LOCATION SHALL BE SUBJECT TO REVIEW BY ARCHITECT.
- FOAM IN PLACE INSULATION FOR SMALL GAPS AND VOIDS.
- CAULK ALL JOINTS OF DISSIMILAR MATERIALS.
- PLAN DIMENSIONS ARE TO FACE OF PARTITION AT INTERIOR AND FACE OF FOUNDATION AT EXTERIOR, UNLESS OTHERWISE NOTED.
- REFER TO OWNERS ENVIRONMENTAL REPORT REGARDING CONTAMINANTS AND ASBESTOS ON THE PROJECT SITE/BUILDING.



A INTERIOR WALL ASSEMBLY
SCALE: 1" = 1'-0"



B PLUMBING WALL ASSEMBLY
SCALE: 1" = 1'-0"

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ARCHITECT'S STAMP:

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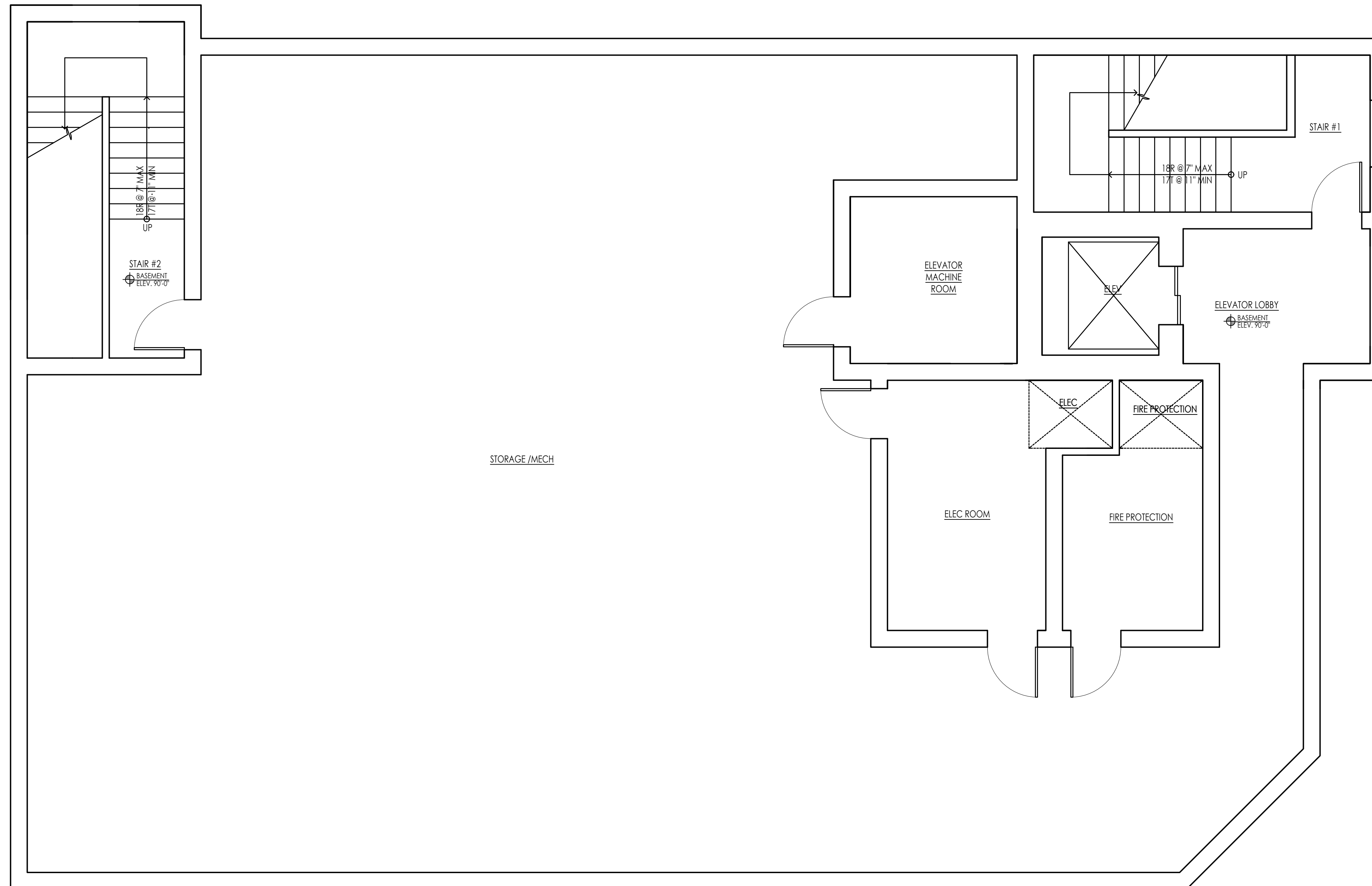
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SHEET TITLE:
GENERAL NOTES & DETAILS

SHEET NUMBER:
T-1.1



PROPOSED BASEMENT PLAN
SCALE: 1/4" = 1'-0" 1
A-1.0

ARCHITECT:

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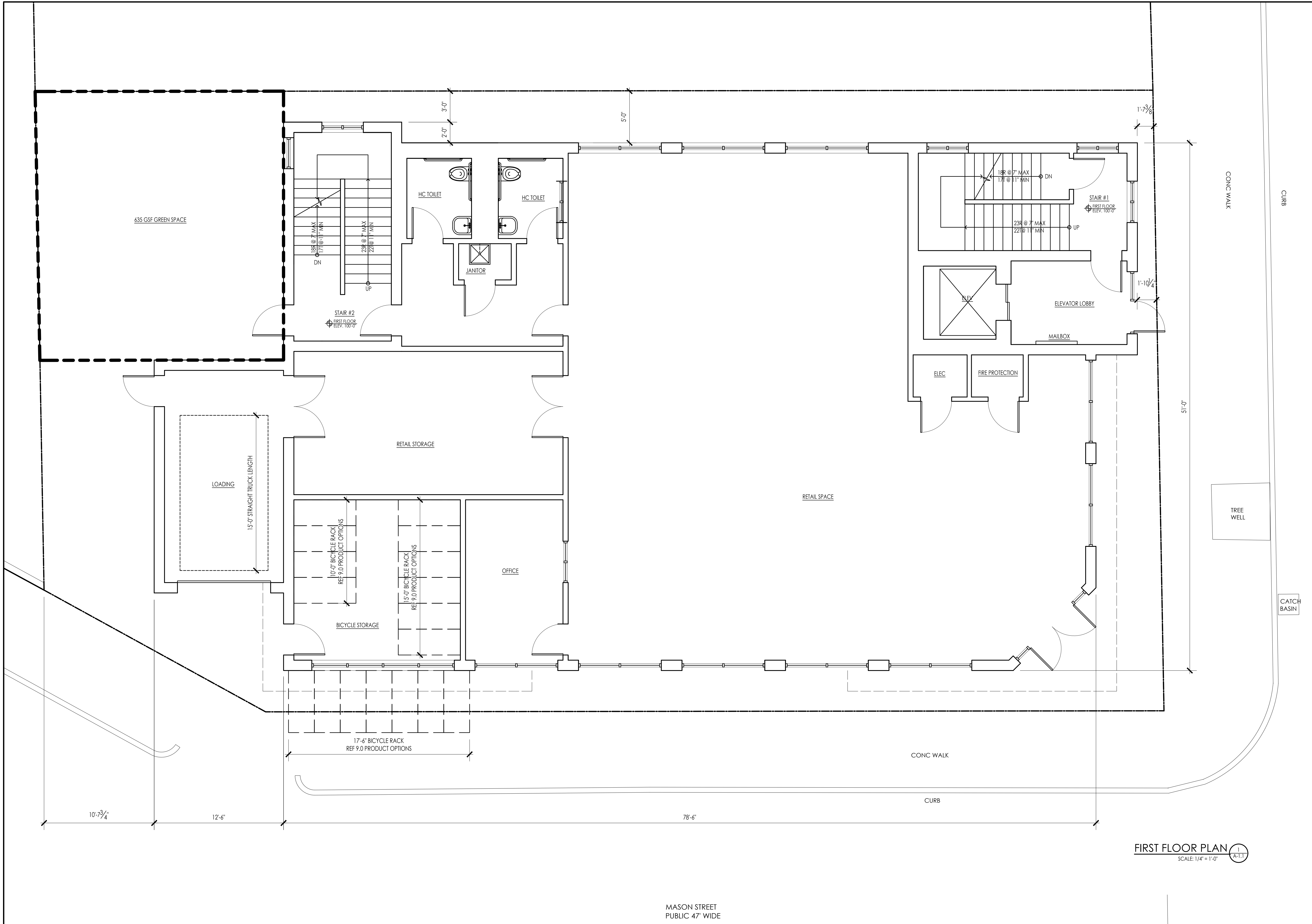
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SHEET TITLE:
 PROPOSED FIRST FLOOR PLAN

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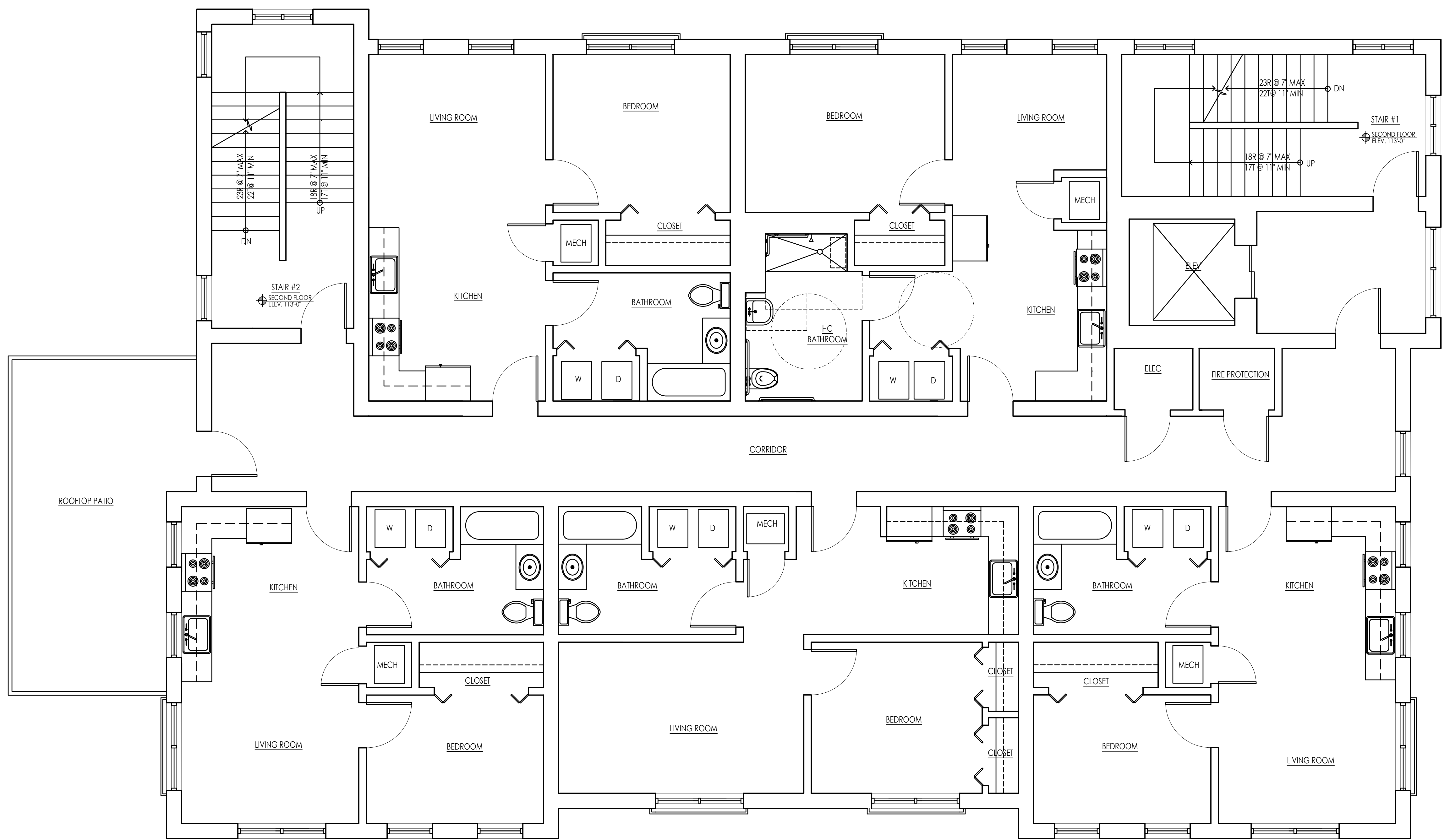
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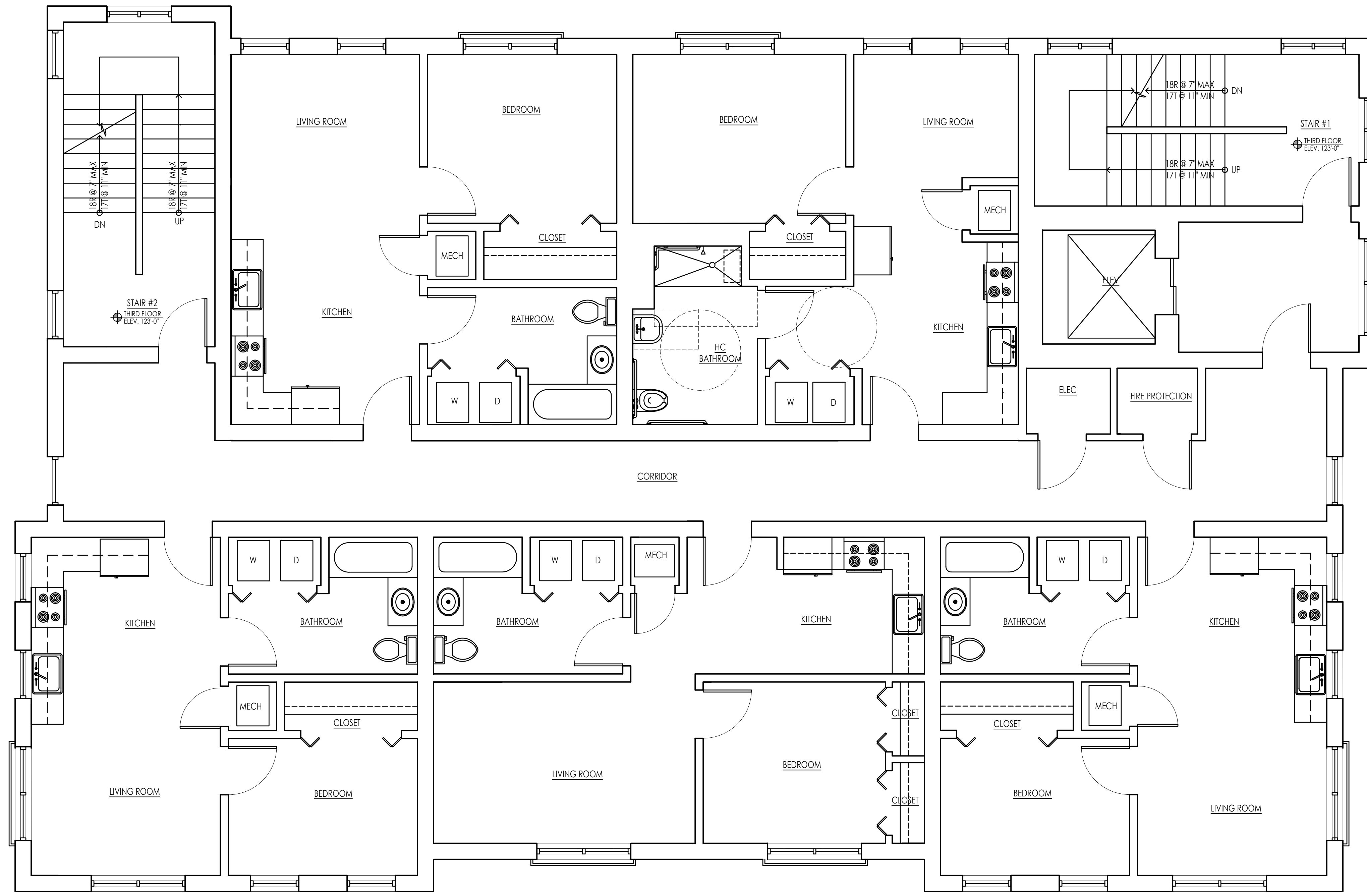
SHEET TITLE:
 PROPOSED SECOND FLOOR PLAN

SHEET NUMBER:

A-1.2



SECOND FLOOR PLAN 1
 SCALE: 1/4" = 1'-0" A-1.2



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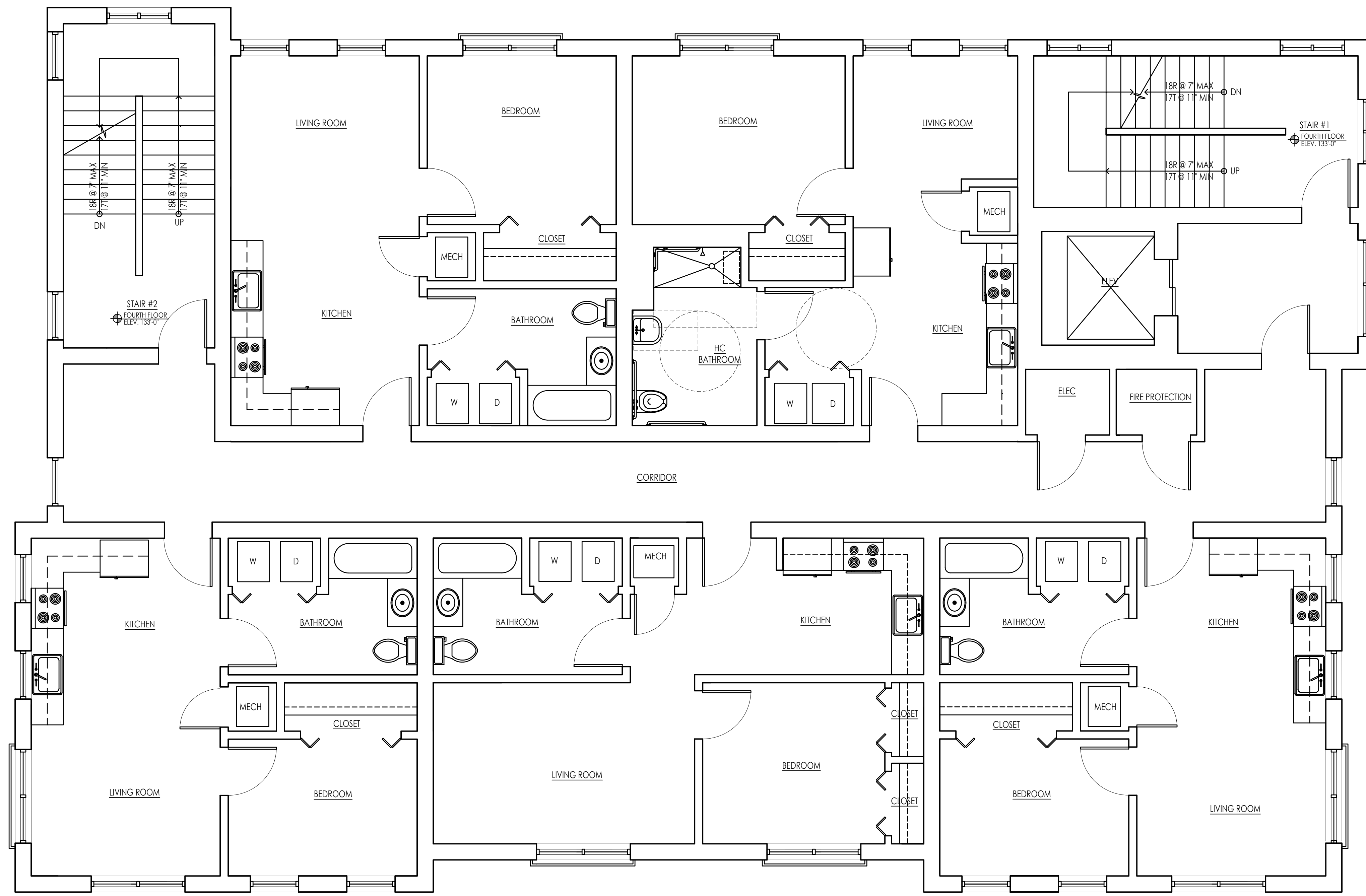
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SHEET TITLE:
 PROPOSED THIRD FLOOR PLAN

SHEET NUMBER:

A-1.3

THIRD FLOOR PLAN 1
SCALE: 1/4" = 1'-0" A-1.3



FOURTH FLOOR PLAN 1
SCALE: 1/4" = 1'-0" A-1.4

ARCHITECT:

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 300 MAIN STREET
 WORCESTER, MASSACHUSETTS 01609
 (508) 755-0333 (F) 508-752-5348
 ADMIN@DIXONSALOARCHITECTS.COM

ARCHITECT'S STAMP:

ENGINEER:

ENGINEER'S STAMP:

GENERAL INFORMATION:

- SCHEMATIC 01.08.2025
- DESIGN DEVELOPMENT
- BID
- PERMIT
- CONSTRUCTION
- EXISTING CONDITIONS

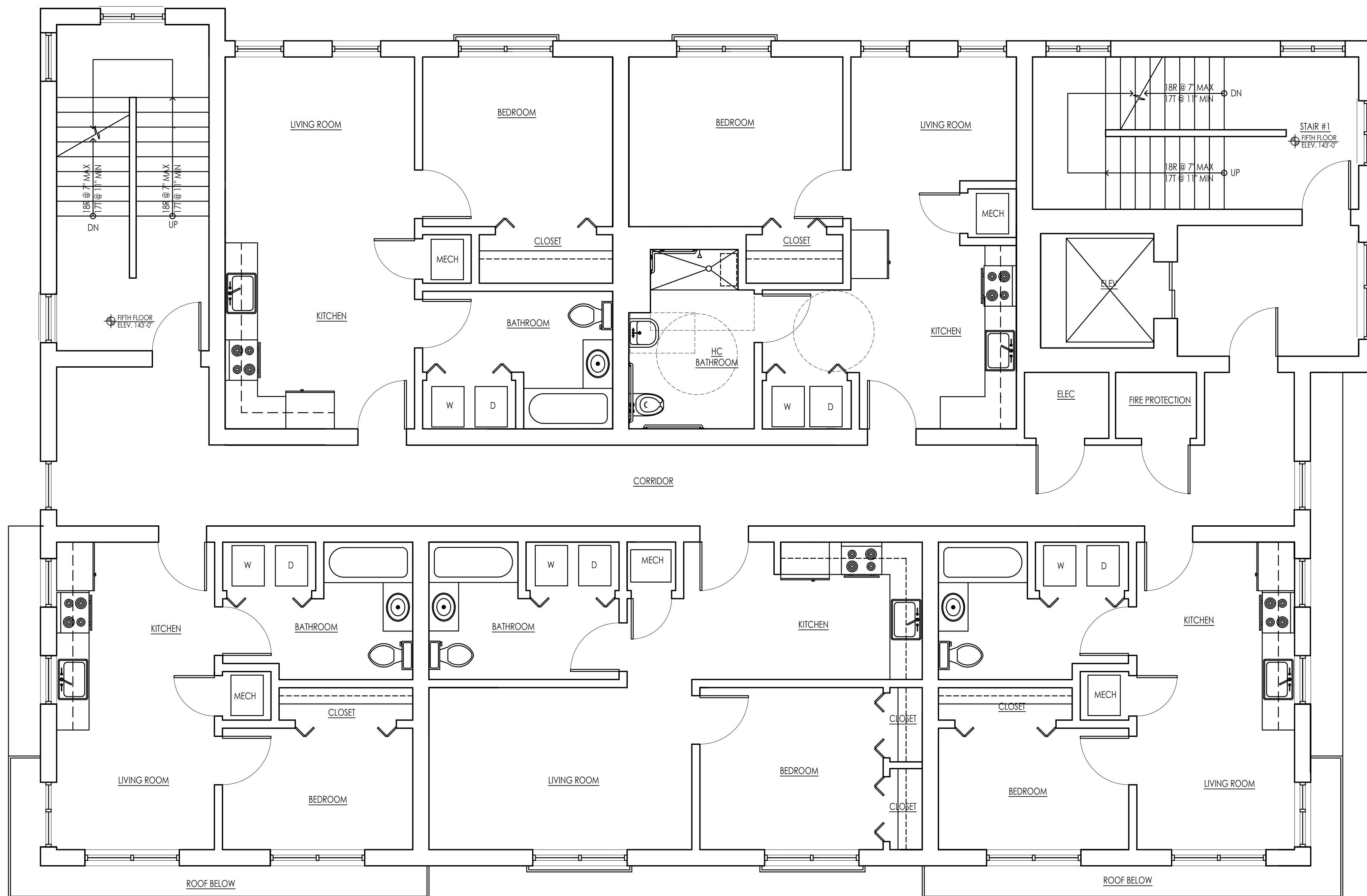
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DATE: 01.08.2025
 SCALE: AS NOTED
 PROJECT: - -
 DRAWN: PL
 CHECKED: JGH

PROJECT TITLE:
 MULTIFAMILY RESIDENTIAL BUILDING
 216 CHANDLER STREET
 WORCESTER, MA 01609

SHEET TITLE:
 PROPOSED FOURTH FLOOR PLAN

SHEET NUMBER:
A-1.4



FIFTH FLOOR PLAN 1
SCALE: 1/4" = 1'-0" A-1.5

ARCHITECT'S STAMP:

ENGINEER:

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GENERAL INFORMATION:

	SCHEMATIC	01.08.2025
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	BID	
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	CONSTRUCTION	
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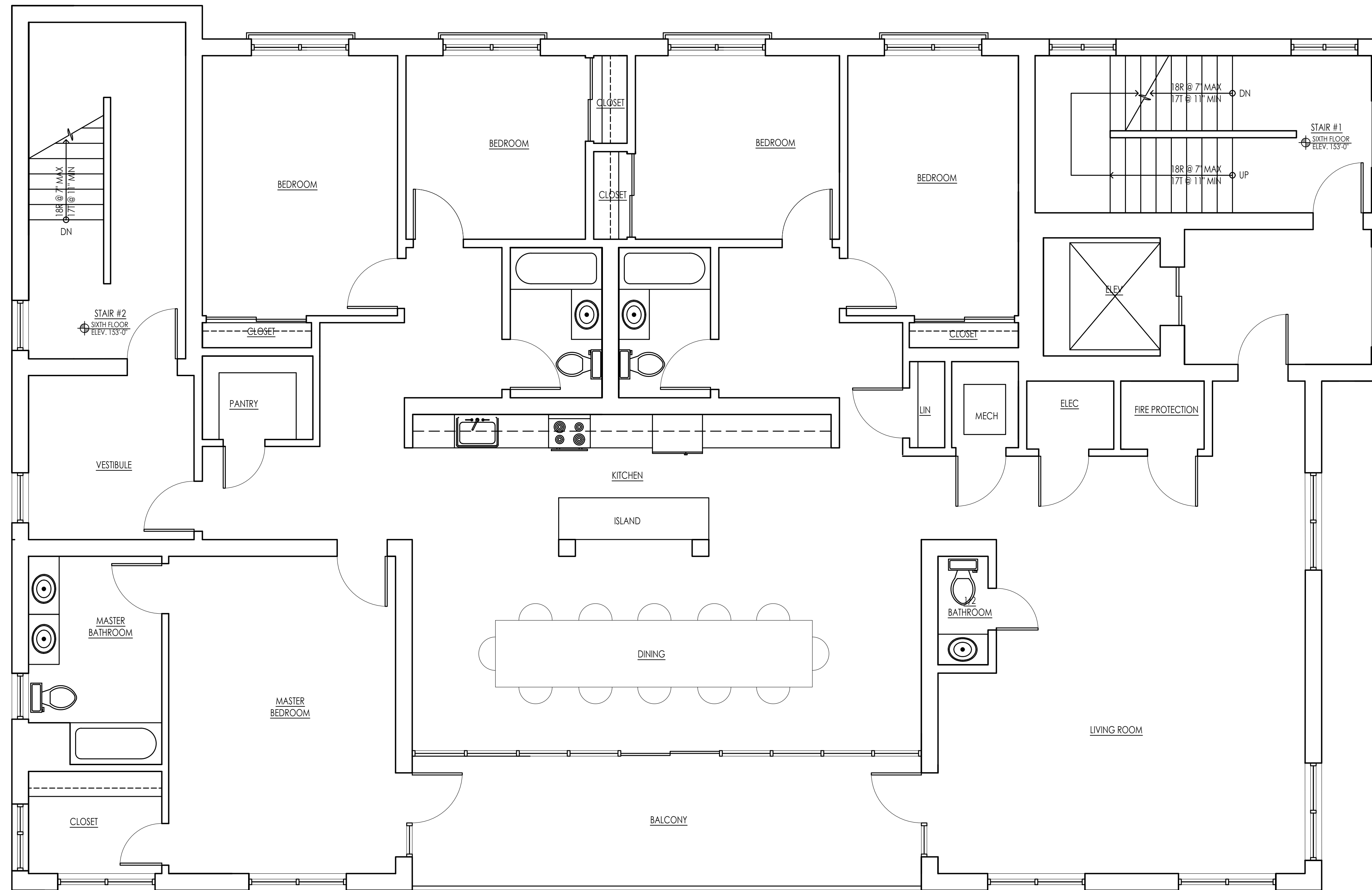
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SCALE:	AS NOTED
PROJECT:	- -
DRAWN:	PL
CHECKED:	JGH

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 MULTIFAMILY RESIDENTIAL BUILDING
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SHEET TITLE:
 PROPOSED FIFTH FLOOR PLAN

SHEET NUMBER:
A-1.5



PROPOSED SIXTH FLOOR PLAN 1
SCALE: 1/4" = 1'-0" A-1.6

ARCHITECT:







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ENGINEER'S STAMP:

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	REVISION DATE

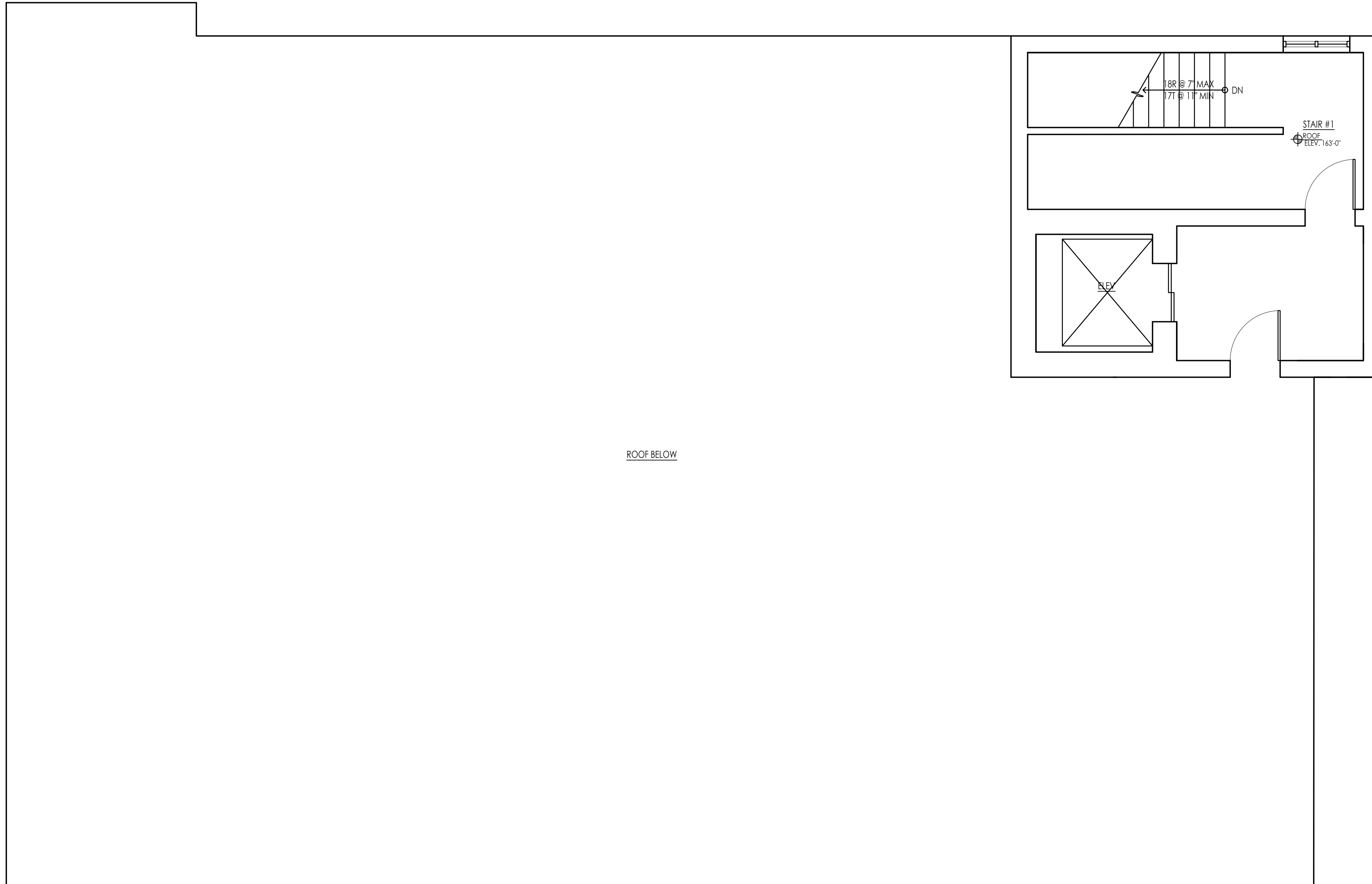
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 PROJECT: - -
 DRAWN: PL
 CHECKED: JGH

PROJECT TITLE:
 MULTIFAMILY RESIDENTIAL BUILDING
 216 CHANDLER STREET
 WORCESTER, MA 01609

SHEET TITLE:
 PROPOSED SIXTH FLOOR PLAN

SHEET NUMBER:

A-1.6



ROOF BELOW

18R @ 7" MAX
77 @ 11" MIN
DN

STAIR #1
ROOF
ELEV. 143'-0"

SEL

PROPOSED ROOF PLAN 1
A-1.7

SCALE: 1/4" = 1'-0"

ARCHITECT:

DIXON SALO ARCHITECTS
INCORPORATED

FIRST FLOOR
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WORCESTER, MA 01609
(508) 755-0333 (C) 508-752-5368
ADMIN@DIXONSALOARCHITECTS.COM

ARCHITECTS STAMP:

ENGINEER:

ENGINEER'S STAMP:

GENERAL INFORMATION:

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<input type="checkbox"/>	DESIGN DEVELOPMENT	
<input type="checkbox"/>	BID	
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SHEET TITLE:
PROPOSED ROOF PLAN

SHEET NUMBER:

A-1.7

ARCHITECT'S STAMP:

ENGINEER:

ENGINEER'S STAMP:

GENERAL INFORMATION:

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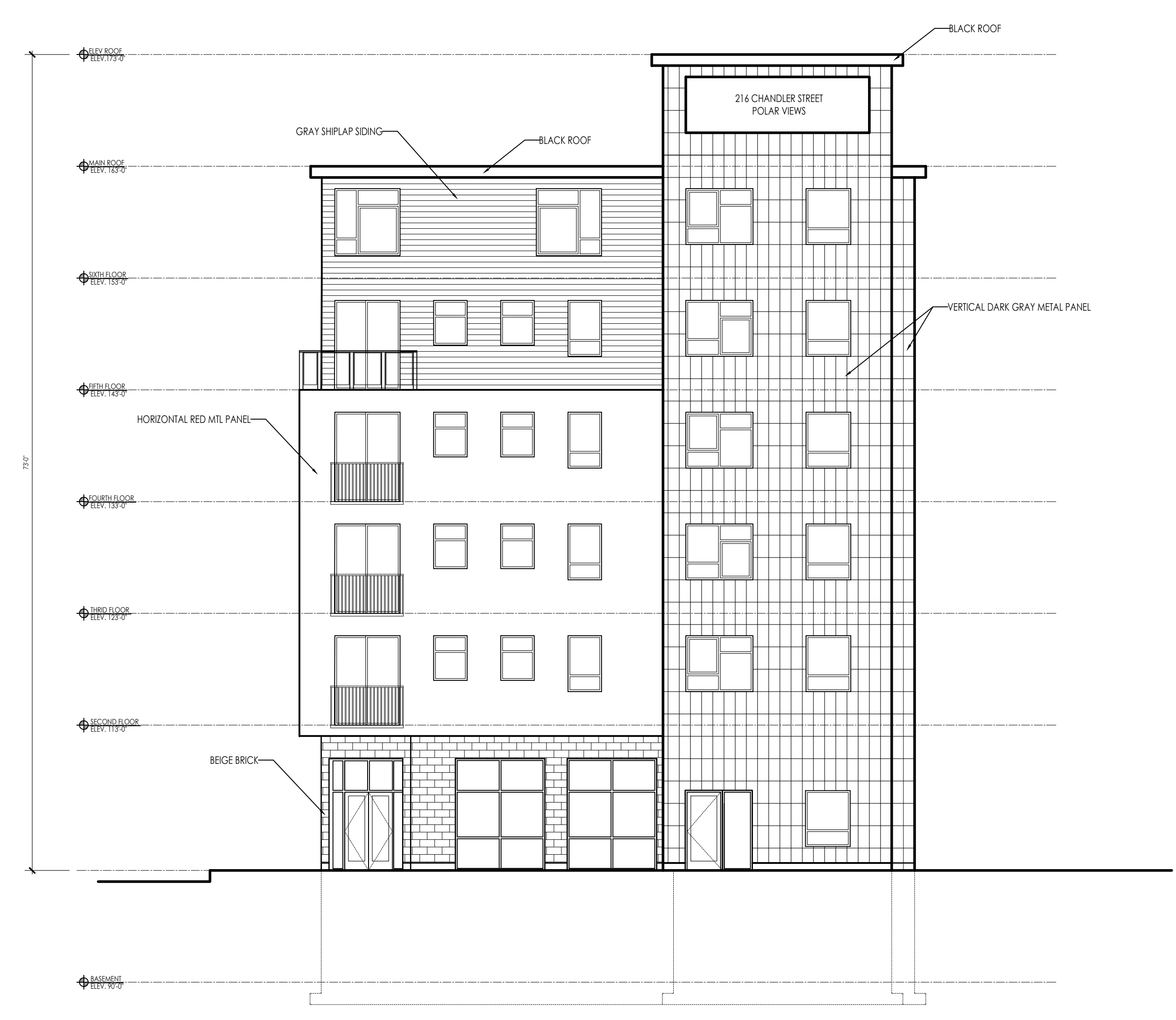
SHEET TITLE:
 EAST & NORTH ELEVATIONS

SHEET NUMBER:

A-2.1



EAST (MASON STREET) ELEVATION
 SCALE: 1/8" = 1'-0" 1
 A-2.1









NORTH (CHANDLER STREET) ELEVATION
 SCALE: 1/8" = 1'-0" 2
 A-2.1

ARCHITECT'S STAMP:

ENGINEER:

ENGINEER'S STAMP:

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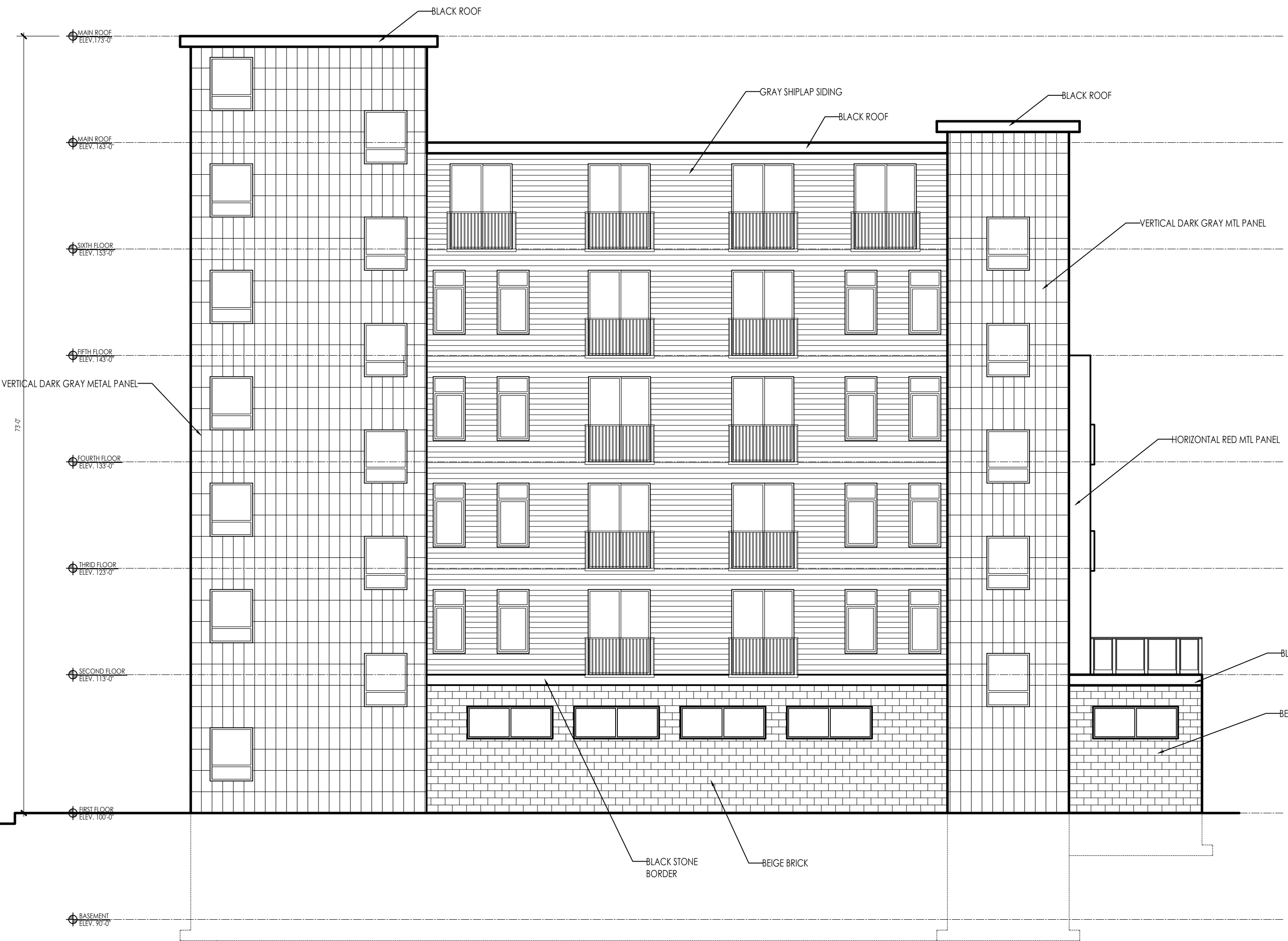
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PROJECT TITLE:
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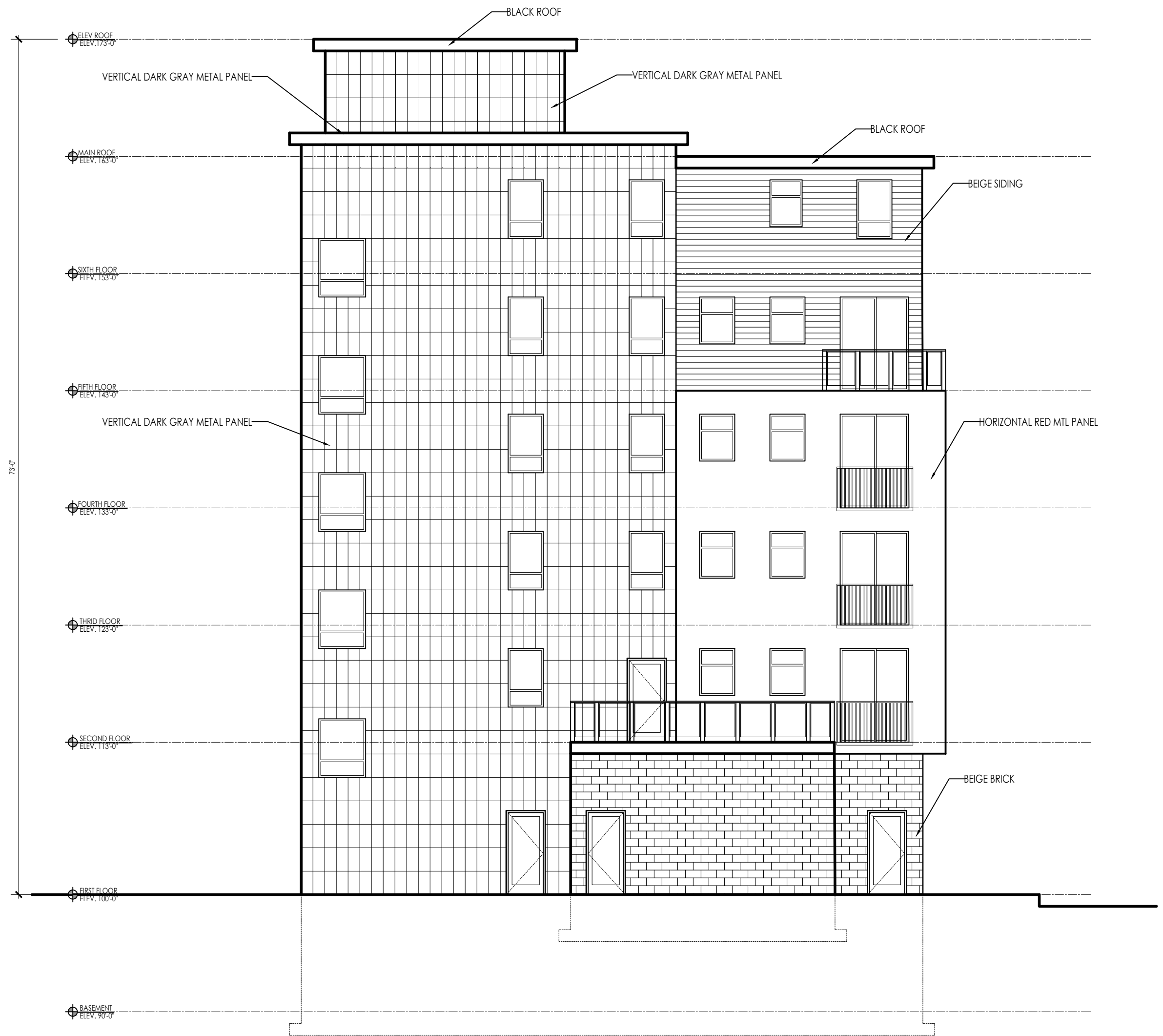
SHEET TITLE:
 WEST & SOUTH ELEVATIONS

SHEET NUMBER:

A-2.2



WEST ELEVATION
 SCALE: 1/8" = 1'-0" 1
A-2.2



SOUTH ELEVATION
 SCALE: 1/8" = 1'-0" 2
A-2.2

EXTERIOR LOCKABLE BIKE RACK OPTIONS:



INTERIOR LOCKABLE BIKE RACK OPTIONS:



JULIET BALCONY OPTION



ARCHITECT:

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 WORCESTER, MA 01609

SHEET TITLE:
 PRODUCT OPTIONS

SHEET NUMBER:

A-9.0